



# County of Roanoke

## FINANCE DEPARTMENT PURCHASING DIVISION

Kate Hoyt, Buyer  
5204 Bernard Drive SW, Suite 300 F  
Roanoke VA 24018  
(540) 283-8149  
(540) 561-2829 – Fax  
[khoyt@roanokecountyva.gov](mailto:khoyt@roanokecountyva.gov)

June 5, 2018

## IFB #2018-100 Explore Park Cabin Campground Infrastructure and Bathhouse

### ADDENDUM NO. 3

#### Clarifications to Project Plans Extension of Due Date & Time

Due Date & Time:  
**June 11, 2018, 2:00 PM**  
**(Local Prevailing Time)**

**IFB #2018-100**  
**Explore Park Cabin Campground Infrastructure and Bathhouse**  
**ADDENDUM NO. 3**

**Clarifications to Project Plans:**

Please see Attachment A to Addendum No. 3, Notice of Addendum #1 from Balzer and Associates, Inc. This Addendum clarifies various specifications regarding the bathhouse plans. Should there be any conflict between the original project plans and those provided within this Addendum, the plans provided in Addendum No. 3 to IFB 2018-100 shall govern.

Please see Attachment B: Yurt Concrete Foundation Details, for further specification regarding the yurt foundations.

**Extension of Project Due Date:**

The due date and time for this project is hereby extended to:  
**Monday, June 11, 2018 at 2:00 PM**

Sealed bids are due to the Roanoke County Purchasing Division (5204 Bernard Dr. Suite 300-F, Roanoke VA 24018) by the above date and time.

**ATTACHMENT A TO  
ADDENDUM NO. 3 TO IFB # 2018-100  
Explore Park Cabin Campground Infrastructure and Bathhouse**

**Balzer and Associates, Inc. Notice of Addendum #1: Drawing Clarifications**



## **EXPLORE PARK-FLEX POD "A"**

### **BATHHOUSE**

CHESTNUT RIDGE ROAD  
ROANOKE COUNTY, VIRGINIA

B&A JOB # 04180001.00

### **NOTICE OF ADDENDUM #1**

June 5, 2018

#### **Drawing Clarifications**

1. Any special inspections for building construction (masonry, concrete, etc.), soil testing or site compaction testing shall be paid for by the Owner. GC will be required to coordinate with Owner's inspection agency for when inspections will be needed onsite.
2. Bidder shall provide a unit price for rock excavation (if required) and for removal/replacement of unsuitable soils (if required).
3. Sheet T1.2: Note 1.17 refers to "Substitutions". Any substitution for any specifically specified product shall be submitted with bid.
4. Sheet C2: All drive aisles where there are no parking spaces or driveways will require yellow fire lane striping along the outside edge of pavement, as well as fire lane signage.
5. Sheet C2: Concrete pad for transformer should be assumed to be provided by utility.
6. Sheet C6: "Exterior Steps Section" shall include (2) handrails, one on each side of steps.
7. Sheet C10: Please see revised sheet C10. Notes regarding utility rough-in's/connections for the yurts were inadvertently left off of the yurt floor plan detail. Bidders shall include the extension of

water, sewer, and electric into yurts and stub ups for utility rough-in so that the yurts are tied into the site utilities.

8. Sheet S2.1: Detail 1 notes a pre-molded joint filler at slab-to-cmu wall transition. This shall be a pre-molded rubber or neoprene joint filler with water-proof caulking at the top.
9. Sheet A1.1: Signs shown at exterior doors (keynotes 12, 12.1, 12.2) shall be plastic signs, wall-mounted, size to match sign detail provide on sheet A1.2.
10. Sheet A1.1: Keynote 6 notes “flush transition” at handicap showers, this shall be a marble threshold, recessed into slab to provide  $\frac{1}{4}$ ” max straight vertical rise.
11. Sheet A1.1: Keynote 14 notes an attic access hatch; this shall be included in the gwb ceiling on sheet A1.3 and a framed opening shall be included in the roof trusses on S1.2.
12. Sheet A1.1: Shower floor tile shall be recessed into slab and sloped to the shower drain.
13. Sheet A2.1: For alternate for “stone veneer”, please provide an alternate price to include +/- 2” thick pre-fabricated/cast stone veneer, cast concrete (“lick and stick”). Eldorado Stone or similar manufacturer is acceptable. Please submit product information selected for this bid alternate with the bid.
14. Sheet A2.2: Wall section notes to provide dampproofing over cmu. Please provide a fluid-applied vapor permeable membrane, to be “Dupont Tyvek Fluid Applied WB” or similar product.

**END OF ADDENDUM # 1**

**ATTACHMENT B TO  
ADDENDUM NO. 3 TO IFB # 2018-100  
Explore Park Cabin Campground Infrastructure and Bathhouse**

**Yurt Concrete Foundation Details**

# PRELIMINARY YURT FLOOR PLAN

## NOTES:

1. FLOOR PLAN SHOWN IS PRELIMINARY FOR BIDDING PURPOSES ONLY. G.C. SHALL COORDINATE THE FINAL LAYOUT WITH THE CAMPGROUND OPERATOR PRIOR TO CONSTRUCTION.
2. FLOOR PLAN IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. G.C. TO PROVIDE CONCRETE FOUNDATION ONLY. CAMPGROUND OPERATOR TO PROVIDE ACTUAL YURT CONSTRUCTION.
3. G.C. SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION.
4. ORIENTATION OF YURT MAY BE DIFFERENT ONSITE, G.C. TO COORDINATE EXACT LOCATIONS OF WHERE UTILITIES NEED TO STUB OUT OF BUILDING WITH THE CAMPGROUND OPERATOR

# YURT FOUNDATION OPTIONS

WALL PANEL BY BLDG. MFR.

2X6 WALL PLATE W/ ANCHOR BOLTS BY BLDG. MFR.

APPROX FINISH GRADE, SEE CIVIL.

MIN. 2'-0" BELOW FINISH GRADE SEE CIVIL

CONT. #4 BAR @ SLAB EDGE

4" CONCRETE SLAB ON GRADE OVER MIN. 4" COMPAKTED GRAVEL FILL

T.O. SLAB  
REF EL: 0'-0"

TURNDOWN SLAB W/ CONT. #4 @ BOTTOM

1 2

Detailed description: This is a technical cross-section diagram of a concrete foundation. It shows a vertical wall panel on the left connected to a horizontal concrete slab. A 2x6 wall plate with anchor bolts is attached to the wall panel. The slab is supported by a layer of gravel fill. A 'T.O. SLAB' is indicated at the top right. A dimension line shows 'MIN. 2'-0" BELOW FINISH GRADE SEE CIVIL' on the left. A vertical line on the left is labeled 'SEE CIVIL'. Labels include 'WALL PANEL BY BLDG. MFR.', '2X6 WALL PLATE W/ ANCHOR BOLTS BY BLDG. MFR.', 'APPROX FINISH GRADE, SEE CIVIL.', 'CONT. #4 BAR @ SLAB EDGE', '4" CONCRETE SLAB ON GRADE OVER MIN. 4" COMPAKTED GRAVEL FILL', 'T.O. SLAB', 'REF EL: 0'-0"', and 'TURNDOWN SLAB W/ CONT. #4 @ BOTTOM'. A scale bar at the bottom is labeled '1 2'.

# TURNDOWN SLAB FOUNDATION

This technical diagram illustrates the construction details for a concrete foundation wall and slab connection. The foundation wall is 8 inches thick and made of concrete blocks. It is reinforced with vertical #4 bars spaced at 18 inches on center. The slab is 4 inches thick and sits on a minimum 4-inch layer of compacted gravel fill. The slab is supported by a continuous #4 bar at its edge and a #5 bent bar at 18-inch on-center spacing. The slab is 24 inches thick. The diagram also shows the wall plate with anchor bolts and the approximate finish grade level, which is 2'-0" below the top of the slab. A note indicates to see the civil plan for the exact finish grade.

WALL PANEL BY BLDG. MFR.

2X6 WALL PLATE W/ ANCHOR BOLTS BY BLDG. MFR.

APPROX FINISH GRADE, SEE CIVIL.

SEE CIVIL

2'-0" MIN. FINISH GRADE

8" MIN.

CONT. #4 BAR @ SLAB EDGE

#5 BENT BAR @ 18" O.C. 24" 24"

4" CONCRETE SLAB ON GRADE OVER MIN. 4" COMPACTED GRAVEL FILL, TURNDOWN ONTO FOUNDATION WALL

TOP/SLAB EL: SEE PLAN

8" CONCRETE FOUNDATION WALL W/ #4 VERT. @ 18" O.C.

#4 HORIZ. @ 24" O.C.

# STEM WALL FOUNDATION