



**ROANOKE COUNTY DEVELOPMENT SERVICES**  
**Office of Building Safety**



**NEW STRUCTURES AND ADDITIONS**  
**Residential Plans Checklist**

**PROJECT ADDRESS** \_\_\_\_\_

**This checklist is a part of and must accompany all permit applications for new residential construction or additions.** Please address any questions to plans review staff at 540.772.2065. There is a seven (7) business day review period for residential plan reviews beginning the day after submission to the permit office.

**Part 1 – Application, Site Plan and Related Documents**

**Yes N/A**

- Completed Permit Application
- Proof of Ownership (if not current in property records)
- Owner's Affidavit completed on permit application if Owner Permit
- Contractors License, when required.
- County Business License, when required.
- List of sub-contractors to be used on project.
- VDOT highway entrance permits if applicable.
- Health Department construction permit for well and/or septic; or water/sewer availability letter from WVWA
- Soil test report and engineer's recommendation and/or design when project located within a designated expansive soil area of the county (Generally for new construction only. Applicants should review the Roanoke County Expansive Soil Policy)
- Engineers report and design for structures located on lots with steep slopes. (See Steep Slope Policy)

**Permit Plot Plan and Erosion Control Plan (3 Copies)**

Erosion and Sediment Control Plan (check one and verify the total disturbed area as shown on the plot plan)

**0 - 2,500 sq. ft. of disturbed area** – no erosion control plan required. Plot plan to indicate measures to control storm water runoff to adjoining properties during construction. **Roanoke County Plot Plan Template must be used; see example below (Required size 8.5" x 11")**

**2,500 – 5,000 of disturbed area** – Signed “Agreement in Lieu of” letter and plot plan to indicate minimum E&S measures per the agreement. **Roanoke County Plot Plan Template must be used; see example below (Required size 8.5" x 11")**

**5,000 – 10,000 sq. ft. of disturbed area** – Certified Responsible Land Disturber for project. Erosion and Sediment Control Plan prepared by either the project RLD or a Professional Engineer. **Roanoke County Plot Plan Template must be used; see example below (Required size 11" x 17")**

**10,000 sq. ft and over** - Separate submittal and Development application is required. (See Development Services, documents and forms at [www.roanokecountyva.gov](http://www.roanokecountyva.gov)) Erosion and Sediment Control Plan prepared by Professional Engineer. Certified Responsible Land Disturber for project. Surety and Review Fee – per E&S Ordinance. Completed E&S Plot Plan Review Checklist. These plans may require an **extended review period** due to the complexity.

**Building Permit will not be issued until site plan review is completed and approved.**



Application # \_\_\_\_\_

**Plot Plan: 0 – 5,000 square feet of disturbed area (8.5" x 11" Paper Size)**

<b>Building Permit Plot Plan</b> for disturbed areas of 5000 sq. ft. or less		Scale: 1 in = ____ ft
		
<b>Roanoke County Community Development</b>		
		
<b>Plot Plan Checklist</b>		
Applicant / Staff		
<ul style="list-style-type: none"> <li><input type="checkbox"/> <input type="checkbox"/> Property Lines and Dimensions</li> <li><input type="checkbox"/> <input type="checkbox"/> New and Existing Structures</li> <li><input type="checkbox"/> <input type="checkbox"/> Distances to Property Lines</li> <li><input type="checkbox"/> <input type="checkbox"/> Utilities and Easements</li> <li><input type="checkbox"/> <input type="checkbox"/> Streets and Entrances</li> <li><input type="checkbox"/> <input type="checkbox"/> Drainage Arrows</li> <li><input type="checkbox"/> <input type="checkbox"/> Disturbed Area _____ sq. ft.</li> <li><input type="checkbox"/> <input type="checkbox"/> E&amp;S Agreement when &gt; 2500 SF</li> <li><input type="checkbox"/> <input type="checkbox"/> Location of E&amp;S Controls</li> </ul>		
<b>Notes</b>		
<ul style="list-style-type: none"> <li><input type="checkbox"/> Use solid lines for existing structures</li> <li><input type="checkbox"/> and dotted lines for proposed structures</li> <li> Use arrows to indicate the general direction of lot drainage</li> </ul>		
All collected storm water must be discharged to an approved location The presence of flood hazards or steep slopes may require additional information A copy of the approved plan is required to be on site during inspections		
<b>Project Information</b>		
Site Address _____ Owner _____ Parcel ID _____ Zoning District _____		
<b>Required Setbacks for This Project</b>		
Front _____ Side _____ Rear _____ <small>Rev. 01/15/2008</small>		

**Plot Plan: 5,001 – 10,000 square feet of disturbed area (11" x 17" Paper Size)**

<b>Building Permit and Erosion Control Plot Plan</b> for projects exceeding 5,000 but less than 10,000 sq. ft. Scale: 1" = ____ ft.																						
<b>Roanoke County Community Development</b>																						
																						
<b>Plot Plan Checklist Items</b>																						
Applicant / Staff																						
<ul style="list-style-type: none"> <li><input type="checkbox"/> Property Lines and Dimensions</li> <li><input type="checkbox"/> Scale and North Arrow</li> <li><input type="checkbox"/> Existing Buildings</li> <li><input type="checkbox"/> New Construction</li> <li><input type="checkbox"/> Required setbacks and distances from adjoining property lines</li> <li><input type="checkbox"/> Easements, utilities, wells, septic systems indicated on plan</li> <li><input type="checkbox"/> Driveway Entrances</li> <li><input type="checkbox"/> Adjoining Streets</li> <li><input type="checkbox"/> Designated Flood Boundaries</li> <li><input type="checkbox"/> Statement of slope analysis</li> </ul>																						
<b>Erosion Control Checklist Items</b>																						
<ul style="list-style-type: none"> <li><input type="checkbox"/> Limits of Clearing and Grading</li> <li><input type="checkbox"/> Existing Drainage Patterns</li> <li><input type="checkbox"/> Existing Vegetation</li> <li><input type="checkbox"/> Critical Erosion Areas</li> <li><input type="checkbox"/> Location of E&amp;S Controls</li> <li><input type="checkbox"/> Topography contours including both existing and proposed</li> <li><input type="checkbox"/> Final disposition of stormwater</li> </ul>																						
<b>Notes</b>																						
<small>For permanent construction of disturbed areas to be evaluated under the 100-year storm event, the following items must be evaluated under the Erosion Control checklist. If the disturbed area is less than 5,000 sq. ft., the following items must be evaluated under the Plot Plan checklist. If the disturbed area is greater than 10,000 sq. ft., the following items must be evaluated under the Erosion Control checklist. If the disturbed area is greater than 5,000 sq. ft. but less than 10,000 sq. ft., the following items must be evaluated under the Plot Plan checklist. If the disturbed area is greater than 5,000 sq. ft. but less than 10,000 sq. ft., the following items must be evaluated under the Plot Plan checklist.</small>																						
<b>Maintenance and Seeding Schedules</b>																						
<b>Erosion Control Minimum Standards</b>																						
<table border="0"> <tr> <td><input type="checkbox"/> MIP-1 Site Location of Disturbed Area</td> <td><input type="checkbox"/> MIP-101 Material Protection</td> </tr> <tr> <td><input type="checkbox"/> MIP-2 Distances of Disturbances</td> <td><input type="checkbox"/> MIP-11 Site Location of Disturbances</td> </tr> <tr> <td><input type="checkbox"/> MIP-3 Permanent Vegetative Cover</td> <td><input type="checkbox"/> MIP-12 Work on Live Vegetation</td> </tr> <tr> <td><input type="checkbox"/> MIP-4 Erosion and Sediment Control Training Measures</td> <td><input type="checkbox"/> MIP-13 Covering of Live Vegetation</td> </tr> <tr> <td><input type="checkbox"/> MIP-5 Site Location of Garden Structures</td> <td><input type="checkbox"/> MIP-14 Application Requirements</td> </tr> <tr> <td><input type="checkbox"/> MIP-6 Erosion Barriers</td> <td><input type="checkbox"/> MIP-15 Soil Protection of Soil and Berms</td> </tr> <tr> <td><input type="checkbox"/> MIP-7 Cut and Fill Slopes</td> <td><input type="checkbox"/> MIP-16 Underdrain and Dry Creek Construction</td> </tr> <tr> <td><input type="checkbox"/> MIP-8 Runoff on Cut and Fill Slopes</td> <td><input type="checkbox"/> MIP-17 Construction of Access Roads</td> </tr> <tr> <td><input type="checkbox"/> MIP-9 Water Seepage from Slope Face</td> <td><input type="checkbox"/> MIP-18 Temporary Erosion Measure Removal</td> </tr> <tr> <td><input type="checkbox"/> MIP-10 Protection of downstream areas</td> <td><input type="checkbox"/> MIP-19 Protection of downstream areas</td> </tr> </table>			<input type="checkbox"/> MIP-1 Site Location of Disturbed Area	<input type="checkbox"/> MIP-101 Material Protection	<input type="checkbox"/> MIP-2 Distances of Disturbances	<input type="checkbox"/> MIP-11 Site Location of Disturbances	<input type="checkbox"/> MIP-3 Permanent Vegetative Cover	<input type="checkbox"/> MIP-12 Work on Live Vegetation	<input type="checkbox"/> MIP-4 Erosion and Sediment Control Training Measures	<input type="checkbox"/> MIP-13 Covering of Live Vegetation	<input type="checkbox"/> MIP-5 Site Location of Garden Structures	<input type="checkbox"/> MIP-14 Application Requirements	<input type="checkbox"/> MIP-6 Erosion Barriers	<input type="checkbox"/> MIP-15 Soil Protection of Soil and Berms	<input type="checkbox"/> MIP-7 Cut and Fill Slopes	<input type="checkbox"/> MIP-16 Underdrain and Dry Creek Construction	<input type="checkbox"/> MIP-8 Runoff on Cut and Fill Slopes	<input type="checkbox"/> MIP-17 Construction of Access Roads	<input type="checkbox"/> MIP-9 Water Seepage from Slope Face	<input type="checkbox"/> MIP-18 Temporary Erosion Measure Removal	<input type="checkbox"/> MIP-10 Protection of downstream areas	<input type="checkbox"/> MIP-19 Protection of downstream areas
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<small>For details and details to be in accordance with the current edition of The Highs Creek Control Handbook</small>																						
<b>Project Narrative</b>																						
<b>Project Information</b>																						
Job Site Address _____ Owner _____ Parcel ID _____ Zoning District _____ RLD _____ Plan Preparer _____ Disturbed Area _____ sq. ft.																						



**Part 2 – Construction Documents**

Each set of plans must accurately depict the following information. It may be necessary to obtain professional assistance in order to provide a plan as required.

**All Applications****Yes N/A**

- Electronic set of documents must be submitted with each permit application.
- Plans shall not be submitted when defaced, faded, incomplete, non-scaled, or indefinite.

**Virginia Uniform Statewide Building Code, section 109.1 requires that each drawing sheet is signed and dated by the designer licensed in Virginia responsible for the drawings:**

- In accordance with 18 VAC10-20-760, drawings that are prepared by a registered design professional must bear professional seal on all sheets, signature is required and date within seal.
- Contractors or other agents, as permitted by Section 54.1-402 of the Code of VA, list license number, occupation, name, address, telephone number; sign and date (see informational handout)

National mail-order type plans that do not contain all of the information covered by this outline or plans that do not conform to the adopted code requirements, or do not accurately represent the proposed structure, are not considered acceptable for use. In such cases, you must edit the plans to depict your project. Please use black ink for this purpose: **Do not use red ink or pencil. Please also note that drawings prepared by a Registered Design Professional may not be altered without his or her written consent.**

**Buildings****FOUNDATION/BASEMENT/SLAB PLAN** Preferred Scale:  $\frac{1}{4}$ " = 1'**Yes N/A**

- Soil bearing value. Submit engineering soil reports for foundations on fill or if calculations are for greater than 2,000 psf soil bearing capacity. **See also: Roanoke Co. Expansive Soil policy**
- A completely dimensioned plan of the foundation, footing and slab.
- The size, location, and spacing of all piers and girders proposed.
- The size, spacing, and direction of run of all joists proposed.
- The location of crawl space access and crawl space ventilation.
- Any special construction required by the structure or by any site condition.
- The size and location of all isolated pad footings.
- Floor sheathing materials.
- All recommendations made by the soils engineer, if required.
- The extent and location of all slabs and foundations for patios, breezeways, garages, etc.
- Size and location of all special footings, grade beams, slab blockouts, etc., required.
- Basement wall sections with dimensions, wall composition, backfill material & height, and reinforcing; coordinate section with elevations and actual site conditions .



**FLOOR PLAN** Preferred Scale:  $\frac{1}{4}$  " = 1'**Yes N/A**

- A completely dimensioned floor plan for each floor level.
- A clarification of the use of all rooms in the building (i.e., bedroom, study, living, utility, etc.).
- The location and description of all plumbing fixtures.
- Location and description of all electrical fixtures, including outlets, switches & smoke detectors, service panels and feeder panels. Indicate GFCI and arc-fault protection.
- Door and window sizes, location, and types. Safety glazing indicated where required.
- Location of heating and cooling equipment and ventilation fans. Combustion air supply where required by fuel burning appliances and fireplaces including factory built and zero clearance units.
- The size, spacing, and direction of run of all floor and roof framing members in each room and all balconies, decks, breezeways, carports, and garages.
- Location, type of fuel, of all fireplaces, stoves and other heating equipment.

**ELEVATIONS** Preferred Scale:  $\frac{1}{4}$ " = 1'**Yes N/A**

- Four (4) elevations of the exterior of the building.
- Exterior wall materials (may be shown on sectional drawing).
- Type of roofing and the pitch of the roof (may be shown on sectional drawing).
- A complete set of dimensions in the vertical direction to clarify the height proposed (may be shown on sectional drawing).
- The elevations must show actual site conditions, final grade, slope, drainage, etc.
- Location of all openings (windows, doors, etc.) in exterior walls.
- Location of all decks, balconies & exterior stairs.

**CONSTRUCTION DETAILS****Yes N/A**

- Stairway dimensions, handrail(s) height and circular/rectangular cross section of railing.
- Balconies and decks.
- Post and beam connections.
- Guard rails (connections, materials, spacing, etc.).
- Fireplace/chimney detail and cross sections indicating clearances.
- Roof framing plan and ventilation details.
- Fire separation walls and ceilings between garage and remainder of dwelling.
- Exterior fire rated walls/soffit protection sections; reference fire resistance rated assemblies listed/tested by a third-party testing laboratory.
- Description of insulation materials, R values, fenestration ratings & equipment performance as shown below:

<b>Insulation Ratings</b>		<b>Fenestration Ratings</b>		<b>Equipment Performance</b>
Roof Ceiling	With Attic R _____ Without Attic R _____	Opaque Doors U _____		Heating System Efficiency _____ Size _____
Walls	Frame R _____ Basement R _____	Windows U _____		Cooling System Efficiency _____ Size _____
Floors	Crawlspac R _____ Slabs R _____ Over conditioned space R _____ Ducts outside cond. space R _____	Skylights U _____		Water Heater/Boiler Eff. _____ Size _____
				Confirm sizing with ACCA Manual J



**FRAMING SECTIONS****Yes N/A**

Completely dimensioned cross-sections through the building, showing the type of construction to be used. In most buildings, a transverse and longitudinal cross-section will be required.

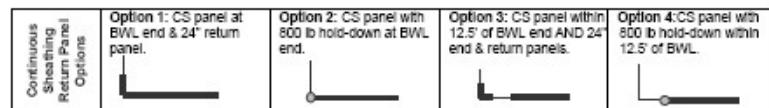
Complete cross-section and details of any unusual or special construction.

**Braced wall provisions apply to all new construction, additions and conversions of 1 & 2 family homes, townhouses and accessory buildings; the provisions do not apply on a local level to industrialized buildings (modular construction) and manufactured homes.**

Dimensioned location of all **Braced Wall Lines** and **Braced Wall Panels** on plan view drawing.

Complete **Wall Bracing Compliance Sheet** (see example below) to show calculations for percentage, location and type of braced wall panel(s) proposed.

**A wall bracing compliance template is also available to assist you in preparing these plans.**

**Wall Bracing Compliance Worksheet**

BWL General Information		Braced Wall Panels				BWL Actual Conditions	
Wall Height:	ft	BWP left end	BWP 2	BWP 3	BWP 4	BWP right end	
BWL Spacing (L):	ft	WSP SPB GB1 side GB2 side CSWSP CS-PP	Panel Location: Left End: <input type="checkbox"/> @ end <input type="checkbox"/> within 12.5' Right End: <input type="checkbox"/> @ end <input type="checkbox"/> within 12.5'				
BWL Spacing (R):	ft	Other:	Other:	Other:	Other:	Other:	Return panel (CS only): Left End: <input type="checkbox"/> Option 1 <input type="checkbox"/> Option 2 <input type="checkbox"/> Option 3 <input type="checkbox"/> Option 4 Right End: <input type="checkbox"/> Option 1 <input type="checkbox"/> Option 2 <input type="checkbox"/> Option 3 <input type="checkbox"/> Option 4
BWL Length:	ft	Length	Length	Length	Length	Length	Panel Spacing ≤ 25' o.c.: <input type="checkbox"/> Yes <input type="checkbox"/> No
Required % bracing:	%						Total length of BWPs ft ÷ BWL length ft = Actual % bracing %
Location:		Total Length of BWPs in ÷ 12 = ft				Actual % of bracing ≥ Required % of bracing: <input type="checkbox"/> NO STOP! <input type="checkbox"/> YES- BWL GOOD	
Wall Height:	ft	BWP left end	BWP 2	BWP 3	BWP 4	BWP right end	Panel Location: Left End: <input type="checkbox"/> @ end <input type="checkbox"/> within 12.5' Right End: <input type="checkbox"/> @ end <input type="checkbox"/> within 12.5'
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BWL Spacing (R):	ft	Other:	Other:	Other:	Other:	Other:	Panel Spacing ≤ 25' o.c.: <input type="checkbox"/> Yes <input type="checkbox"/> No
BWL Length:	ft	Length	Length	Length	Length	Length	Total length of BWPs ft ÷ BWL length ft = Actual % bracing %
Required % bracing:	%						Actual % of bracing ≥ Required % of bracing: <input type="checkbox"/> NO STOP! <input type="checkbox"/> YES- BWL GOOD
Location:		Total Length of BWPs in ÷ 12 = ft				Actual % of bracing ≥ Required % of bracing: <input type="checkbox"/> NO STOP! <input type="checkbox"/> YES- BWL GOOD	
Wall Height:	ft	BWP left end	BWP 2	BWP 3	BWP 4	BWP right end	Panel Location: Left End: <input type="checkbox"/> @ end <input type="checkbox"/> within 12.5' Right End: <input type="checkbox"/> @ end <input type="checkbox"/> within 12.5'
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BWL Spacing (R):	ft	Other:	Other:	Other:	Other:	Other:	Panel Spacing ≤ 25' o.c.: <input type="checkbox"/> Yes <input type="checkbox"/> No
BWL Length:	ft	Length	Length	Length	Length	Length	Total length of BWPs ft ÷ BWL length ft = Actual % bracing %
Required % bracing:	%						Actual % of bracing ≥ Required % of bracing: <input type="checkbox"/> NO STOP! <input type="checkbox"/> YES- BWL GOOD
Location:		Total Length of BWPs in ÷ 12 = ft				Actual % of bracing ≥ Required % of bracing: <input type="checkbox"/> NO STOP! <input type="checkbox"/> YES- BWL GOOD	



**Part 3 – POOLS, SPAS AND HOT TUBS** Preferred Scale:  $\frac{1}{4}$ " = 1'  N/A

**Definition:** Residential Swimming Pool – A pool intended for use that is accessory to a residential setting and available only to the household and its guests. Other pools shall be considered to be public pools for purposes of this code.

- Completed and signed barrier responsibility form.
- Plot plan showing location of existing structures and intended location of pool.
- Details and/or description of barrier type, including security fencing & alarm (Fencing must be on plot plan)
- Location of all associated proposed equipment, pumps, heaters, drains, etc.
- Construction drawings for any decks, steps, railings, or guards to be built in association with the pool.
- Complete architectural/engineering drawings for all sites-built pools.
- Manufacturers installation instructions available on-site for all kit and pre-manufactured pools
- Electrical details per NEC for outlets, fixtures, or other devices to be installed or used with the pool.
- The plan is to indicate the discharge of any pool drain to an approved discharge point.

**Part 4 – RETAINING WALLS** Preferred Scale:  $\frac{1}{4}$ " = 1'  N/A

- >2 – <4 feet in height or fill - no construction documents required. Plot plan should indicate setbacks.
- 4 - ≤6 feet in height of fill - construction documents required; standard manufacturer designs are acceptable
- >6 feet in height or fill – construction documents required- must bear the seal of a VA Reg. Design Prof.

**All retaining wall construction documents submitted shall include the following in addition to plot plan:**

- Specifications for the construction materials
- Specification for the backfill material and compaction requirements.
- Wall elevations and multiple cross-sections of each retaining wall, to include structural details; the actual ground slope at the top and the toe of the retaining wall.
- Bearing capacity of the foundation soil
- Method of drainage behind the wall
- Guardrail location and details for retaining wall systems 30 inches and higher, to protect pedestrian traffic when applicable.
- Plans indicating walls which extend across multiple properties must include a description of provisions to be made to provide for access and maintenance of wall.

**Part 5 – ACCESSORY STRUCTURES, DECKS & POST FRAME CONSTRUCTION** Preferred Scale:  $\frac{1}{4}$ " = 1'

Yes N/A

- Accessory Structures less than 300 sq. ft., no building plans required, plot plan only required.
- Accessory Structures over 300 sq. ft., submit building plans showing framing details including wall bracing, lumber sizes and spans, roof system and foundation system in addition to plot plan.
- Accessory and Post Frame prefabricated/manufactured buildings – supply manufacturers details for foundation and anchoring requirements.
- Post frame construction drawings must be engineered and sealed by a registered design professional; drawings must indicate all structural design loads in accordance with Virginia USBC.
- Post frame construction drawings must indicate the size, grade and species of wood members, metal roofing and side panel size and material quality, engineered post connections, and fastener schedule.
- Post frame construction drawings must indicate foundation system and connections.



## **Attention**

**Contractors/Renovators applying for a local  
renovation or demolition permits.**

**There are other applicable renovation and demolition  
regulatory requirements administered by  
The Virginia Department of Labor and  
Industry.**

**Fines can be as much as \$25,000.**

**Information and assistance are available by  
contacting 540-562-3580**

